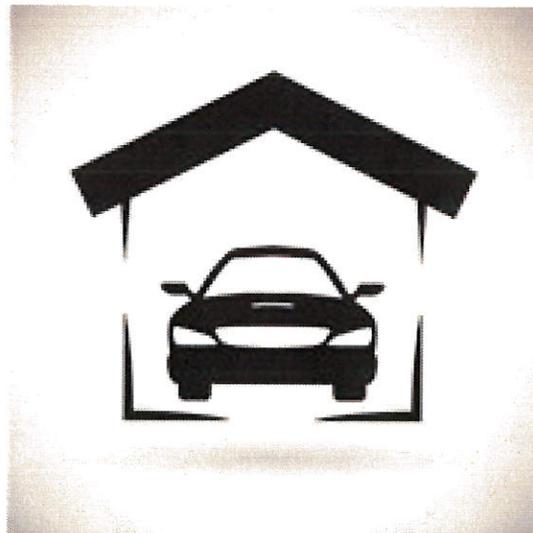


**City of La Crosse
Fire Prevention and Building Safety**

400 La Crosse St, La Crosse, WI 54601
(608) 789-7530 • Fax: (608) 789-7589
<http://www.cityoflacrosse.org> inspection@cityoflacrosse.org
Gregg A. Cleveland, Fire Chief



DETACHED GARAGE





Fire Prevention and Building Safety



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DETACHED GARAGES: MOST OFTEN ASKED QUESTIONS & ANSWERS

Q: Do I need a building permit?

A: Yes

Q: How much will it cost?

A: There is a \$55 fee for garage permits, along with a \$33 property records maintenance fee

Q: How do I get a permit?

A: Bring to the Fire Prevention and Building Safety Department at City Hall the following:

- 2 sets of plans. A set includes a top or "plan view" looking down on your project and a side or "cutaway" view showing your proposed method of construction.
- 2 copies of a survey or accurate land drawing showing your existing home and structures and the location of the proposed detached garage. Be sure to indicate distance from lot lines to the edge of the garage overhang.

And then, you can complete the application for permit right here at the service counter.

Q: What size can I build my detached garage?

A: Footprint: the square footage of the detached garage and all accessory structures may total up to 35% of the rear yard area up to a maximum of 1,000 square feet.

- Height: maximum height measured from the lowest floor elevation to the highest point of the structure is 17 feet.
- Wall height: maximum allowable wall height is 10 feet.
- Door height: maximum allowable main garage door height is 8 feet.

Q: How close to my lot line can I build my detached garage?

A: The edge of the roof line of the structure must stay at least 2 feet from lot lines in the rear yard.

Q: Do special requirements apply when my garage is close to my home?

A: If your garage is built within 10 feet of your residence, the wall closest to the dwelling must be $\frac{3}{4}$ hour fire rated. Openings in the garage within 5 feet of the dwelling must have a 20 minute fire rated door or window.

Q: Is a 48" frost footing required under my detached garage?

A: No, a floating slab with thickened perimeter edge is permitted.

Q: Can I demolish my existing garage and rebuild on the existing foundation?

A: Only if the placement meets current setback requirements and the foundation is in acceptable condition.

Q: When must I call for inspections?

A: Inspections are required at the following times:

- Footing inspection before the concrete is poured
- If there is an interior wall finish, call for a framing inspection before installation of drywall
- When the project is complete

Note: If the home owner does not hire a contractor to perform work under the building permit that is bonded and insured, a Cautionary Statement must be signed and submitted with the application. (SEE ATTACHED FORM)

The property owner is responsible for correct placement of structures upon a parcel of land to comply with the building and zoning law. The back edge of the City sidewalk is usually located on a property line.

Be sure to call **Digger's Hotline** prior to digging. The number is 1-800-242-8511.

If we may be of further service, please call: 789-7530
Monday through Friday – 7:30 AM through 5:00 PM
Thank you and good luck on your project!



BUILDING PERMIT APPLICATION

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Gregg A. Cleveland, Fire Chief

Application No: _____

Date: _____

Parcel No: _____

PROJECT

Project Address:

Building <input type="checkbox"/>	Addition <input type="checkbox"/>	Alteration/Remodel <input type="checkbox"/>	Cost of Project: \$
Sign <input type="checkbox"/>	Demolition <input type="checkbox"/>	Intended Use of Land After Demolition:	

Description of Work:

OWNER

Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Cell: _____ Fax: _____ Email: _____

CONTRACTOR

Name: _____ Supervisor: _____
 Address: _____ WIS/Cred/Qual: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Cell: _____ Fax: _____ Email: _____

PROPERTY

Zoning: _____ Flood Plain: Yes No:
 Number of Dwelling Units: _____ Fire Limits: Yes No:
 Property Located in Archaeological District: Yes No
 Building Construction Type: _____ Occupancy type: _____
 Level of Alteration (per IEBC): _____
 Architect/Engineer Name: _____ Architect/Engineer Phone: _____

INSPECTION USE ONLY

OK TO ISSUE:	Inspector Initials:
Approval Date:	
FEES	
Copies:	\$
Plan Review:	\$
Permit Fee:	\$
Record Maintenance Fee:	\$
Other:	\$
TOTAL:	\$
Received By:	Check No:

It is hereby agreed between the applicant, as owner, owner's agent or servant, and the City of La Crosse that for and in consideration for the premises and of the permit to construct, erect, alter, move, raze, or install and the occupancy of a building or property as above described, to be issued and granted by Fire Prevention and Building Safety of the City of La Crosse, that the work thereon will be done in accordance with the descriptions set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter, move, raze or install and occupy in strict compliance with the ordinances of the City of La Crosse, and to obey any and all lawful orders of Fire Prevention and Building Safety of the City of La Crosse and State of Wisconsin laws relating to the construction, alteration, repairs, removal and safety buildings and other structures and permanent building equipment.

PLEASE MAKE CHECKS PAYABLE TO: CITY OF LA CROSSE TREASURER

 (PRINT) AGENT/CONTRACTOR NAME DATE

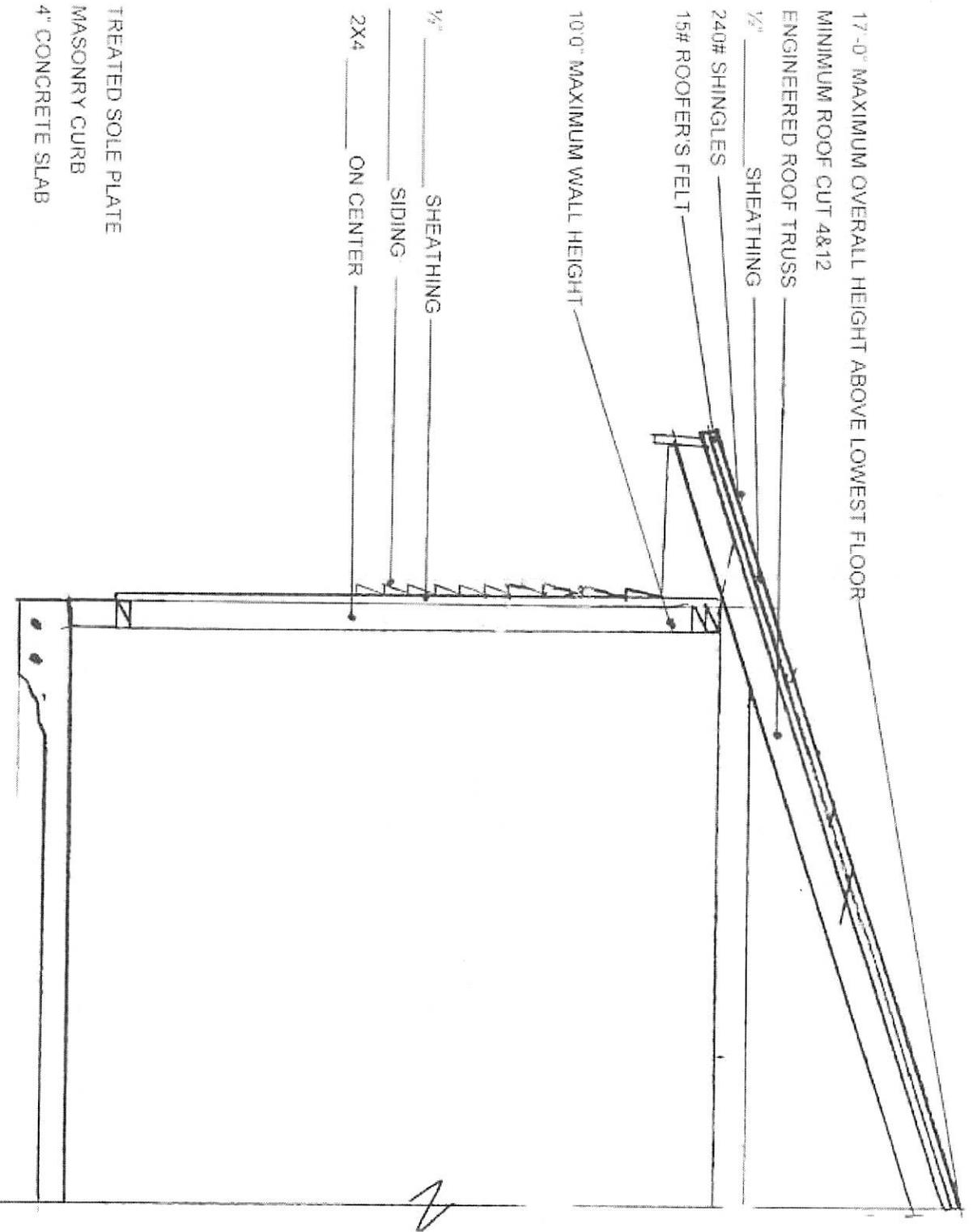
 (PRINT) OWNER NAME DATE

 (SIGN) AGENT/CONTRACTOR NAME DATE

 (SIGN) OWNER NAME DATE

**DO NOT CONCEAL ANY WORK WITHOUT FIRST RECEIVING INSPECTOR APPROVAL.
 IT IS THE OWNER'S RESPONSIBILITY TO SEE THAT INSPECTION REQUESTS ARE CALLED IN TO THE INSPECTOR.**

DETACHED GARAGE OR SHED SECTION PLAN



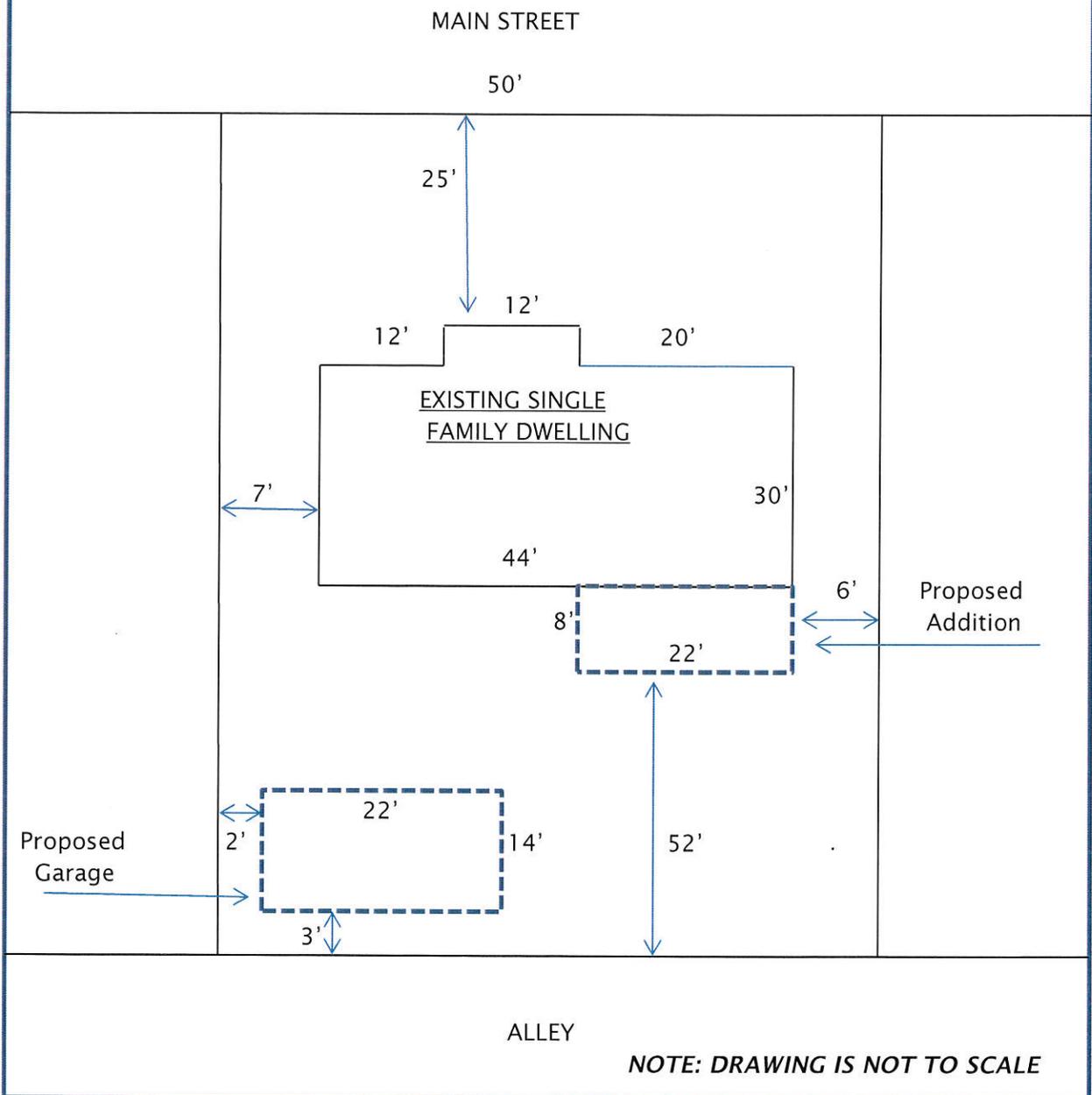
DETACHED GARAGE Scale: 1/2" = 1'-0"

OWNER NAME

ADDRESS

SAMPLE PLOT PLAN
FIRE PREVENTION AND BUILDING SAFETY DEPARTMENT
CITY OF LA CROSSE
www.cityoflacrosse.org

This sample plot plan has been designed to assist you in preparing a similar plot plan of your own premises, when necessary to obtain a building permit, or when required by the Board of Zoning and Appeals, Board of Housing Appeals, or Board of Building Appeals. Plot plans for larger buildings shall go into more detail.



(Part of Ply 4 for Applicants)

Cautionary Statement To Owners Obtaining Building Permits

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Additional Responsibilities for Owners of Projects Disturbing More One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Owner's Signature: _____ Date: _____