



**City of La Crosse
Fire Prevention and Building Safety**

400 La Crosse St, La Crosse, WI 54601
(608) 789-7530 • Fax: (608) 789-7589
<http://www.cityoflacrosse.org> inspection@cityoflacrosse.org
Gregg A. Cleveland, Fire Chief



NEW HOMES





Fire Prevention and Building Safety

400 La Crosse St., La Crosse, WI 54601 · (608) 789-7530 · Fax: (608) 789-7589
<http://www.cityoflacrosse.org> inspection@cityoflacrosse.org
Gregg A. Cleveland, Fire Chief



RESIDENTIAL ADDITIONS OR ALTERATIONS: MOST OFTEN ASKED QUESTIONS & ANSWERS

Q: When do I obtain a building permit?

A: You need a building permit for *any structural alteration or addition* including, but not limited to, changing window size, re-rocking a wall, changing a window to a door, putting up or tearing down any wall, building or demolishing a detached garage or shed, building or tearing down an above ground swimming pool.

Q: How do I obtain a building permit?

A: To obtain a permit, you need to bring to the Fire Prevention and Building Safety Department at City Hall the following:

- 2 sets of plans. A set includes all floor plans, elevations, cross-sections and details. Also include structural calculations for trusses and unusually large beam/headers for large spans.
- 2 copies of a survey or accurate land drawing showing your existing home and location of proposed changes. Be sure to indicate distance from lot lines to the wall of existing and/or proposed structures.

And then, you can complete the application for permit right here at the service counter.

Q: How long does it take to get my permit?

A: This varies with the flow rate of permit applications. Generally 24 hours are required for processing, but *this can take up to a week or more depending on the volume and velocity of plans received*. Please ask about time for review process when you submit the application for permit.

Q: How much does a permit cost?

A: Permit fees shall be based upon the physical value of work to be done, as determined by the Fire Prevention and Building Safety Department on the basis of current costs, as follows:

<u>Size of Alteration/Building</u>	<u>Permit Fees</u>
Building Construction	\$.33 per square foot with minimum \$55
Plan review fees:	
All Work at Existing One and Two Family Dwellings	\$17
New One and Two Family Dwellings	\$44
HVAC	\$33
Flat Fee Permits + Property Records Maintenance	
Re-roof	\$33 + \$22 = \$55
Wooden Patio Deck	\$33 + \$33 = \$66
Swim Pool	\$33 + \$22 = \$55
Residential Yard Shed	\$33 + \$33 = \$66
Wrecking/Razing	\$33 + \$22 = \$55
Detached Residential Garage	\$55 + \$33 = \$88
Fence	\$33 + no maint. fee = \$33

https://www.municode.com/library/wi/la_crosse/codes/code_of_ordinances?nodeId=PTILADEOR_APX_CFESC

Q: How close to the lot line can I build the addition?

A: In most areas, you must stay 20% of the lot depth or a minimum of 15' (maximum of 30') from the rear lot line and 6' from the side lot lines and 25' from the street lot lines. **CALL US TO MAKE SURE** if your project is close to these parameters. **SOME AREAS DO HAVE DIFFERENT SETBACK RULES.** It is better to bring in your survey before you begin designing your addition.

Q: Can I do my own electrical wiring?

A: No. Local law requires a licensed contractor to perform electrical wiring. An electrical permit is required.

Q: Can I do my own plumbing work?

A: No. Local law requires a licensed contractor to perform plumbing work. A plumbing permit is required.

Q: Can I do my own HVAC work?

A: Local law requires a licensed contractor to perform any gas work and a permit will be required. Some other HVAC work will require a permit; please inquire with the Fire Prevention and Building Safety Department regarding permitting.

Q: What do I do with the card I received with the building permit?

A: The yellow permit card should go in a window or where it can be seen from the street.

Q: When must I call for building inspections?

A: Inspections are required:

- After excavation, before placing concrete
- After foundation is built but before backfilling
- When rough carpentry is erected. You must first have plumbing, electrical and HVAC rough inspected and approved. THEN CALL FOR A FRAMING INSPECTION. The Building Inspector cannot approve framing prior to electrical, plumbing, and HVAC rough inspection/approvals
- When insulation is completely installed before dry walling begins
- Final inspections for building, plumbing, electrical and HVAC before occupancy

Following is a list of frequent problems or errors we encounter:

- Excavation full of water/mud
- Excavation not minimum 48" deep
- Foundation backfilled before inspection
- Framing inspection request prior to electrical, plumbing and HVAC approvals
- Headers/beams missing or over spanned
- Deck footings not inspected
- Stairs and guard rails/handrails not built properly
- Smoke alarm missing from each floor level
- Permit holder forgets to call us for required inspections especially final inspection

The property owner is responsible for correct placement of structures upon a parcel of land to comply with the building and zoning law. The back edge of the City sidewalk is usually located on a property line.

Be sure to call **Digger's Hotline** prior to digging. The number is 1-800-242-8511.

**If we may be of further service, please call: 789-7530
Monday through Friday – 7:30 AM through 5:00 PM
Thank you and good luck on your project!**

Dept of Safety & Professional Services Industry Services Division Wisconsin Stats. 101.63, 101.73	<h2 style="margin:0;">Wisconsin Uniform Building Permit Application</h2> <p style="margin:0; font-size: small;">Instructions on back of second ply. The information you provide may be used by other government agency programs [(Privacy Law, s. 15.04 (1)(m))]</p>	Application No. Parcel No.
---	--	-----------------------------------

PERMIT REQUESTED	<input type="checkbox"/> Constr. <input type="checkbox"/> HVAC <input type="checkbox"/> Electric <input type="checkbox"/> Plumbing <input type="checkbox"/> Erosion Control <input type="checkbox"/> Other:
-------------------------	---

Owner's Name	Mailing Address	Tel.
Contractor Name & Type	Lic/Cert#	Mailing Address
Dwelling Contractor (Constr.)		Tel. & Fax
Dwelling Contr. Qualifier		The Dwelling Contr. Qualifier shall be an owner, CEO, COB or employee of the Dwelling Contr.
HVAC		
Electrical		
Plumbing		

PROJECT LOCATION	Lot area	Sq.ft.	<input type="checkbox"/> One acre or more of soil will be disturbed	<input type="checkbox"/> Town <input type="checkbox"/> Village <input type="checkbox"/> City of	_____ 1/4, _____ 1/4, of Section _____, T _____ N, R _____ E/W
-------------------------	----------	--------	---	---	--

Building Address	County	Subdivision Name	Lot No.	Block No.
------------------	--------	------------------	---------	-----------

Zoning District(s)	Zoning Permit No.	Setbacks:	Front	Rear	Left	Right
			ft.	ft.	ft.	ft.

1. PROJECT	3. OCCUPANCY	6. ELECTRIC	9. HVAC EQUIP.	12. ENERGY SOURCE																																				
<input type="checkbox"/> New <input type="checkbox"/> Repair <input type="checkbox"/> Alteration <input type="checkbox"/> Raze <input type="checkbox"/> Addition <input type="checkbox"/> Move <input type="checkbox"/> Other:	<input type="checkbox"/> Single Family <input type="checkbox"/> Two Family <input type="checkbox"/> Garage <input type="checkbox"/> Other:	Entrance Panel Amps: _____ <input type="checkbox"/> Underground <input type="checkbox"/> Overhead	<input type="checkbox"/> Furnace <input type="checkbox"/> Radiant Basebd <input type="checkbox"/> Heat Pump <input type="checkbox"/> Boiler <input type="checkbox"/> Central AC <input type="checkbox"/> Fireplace <input type="checkbox"/> Other:	Fuel	Nat Gas	LP	Oil	Elec	Solid	Solar Geo																														
				Space Htg	<input type="checkbox"/>																																			
				Water Htg	<input type="checkbox"/>																																			
		7. WALLS		13. HEAT LOSS																																				
		<input type="checkbox"/> Wood Frame <input type="checkbox"/> Steel <input type="checkbox"/> ICF <input type="checkbox"/> Timber/Pole <input type="checkbox"/> Other:		_____ BTU/HR Total Calculated Envelope and Infiltration Losses (available from "Total Building Heating Load" on Rescheck report)																																				
2. AREA INVOLVED (sq ft)	4. CONST. TYPE		10. SEWER	14. EST. BUILDING COST w/o LAND																																				
	<input type="checkbox"/> Site-Built <input type="checkbox"/> Mfd. per WI UDC <input type="checkbox"/> Mfd. per US HUD		<input type="checkbox"/> Municipal <input type="checkbox"/> Sanitary Permit# _____	\$ _____																																				
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th>Unit 1</th> <th>Unit 2</th> <th>Total</th> </tr> </thead> <tbody> <tr> <td>Unfin. Bsmt</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Living</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Area</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Garage</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Deck/ Porch</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Totals</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		Unit 1	Unit 2								Total	Unfin. Bsmt				Living				Area				Garage				Deck/ Porch				Totals				5. STORIES	8. USE	<input type="checkbox"/> 1-Story <input type="checkbox"/> 2-Story <input type="checkbox"/> Other: <input type="checkbox"/> Plus Basement	<input type="checkbox"/> Seasonal <input type="checkbox"/> Permanent <input type="checkbox"/> Other:	11. WATER
	Unit 1	Unit 2	Total																																					
Unfin. Bsmt																																								
Living																																								
Area																																								
Garage																																								
Deck/ Porch																																								
Totals																																								
			<input type="checkbox"/> Municipal <input type="checkbox"/> On-Site Well																																					

I understand that I: am subject to all applicable codes, laws, statutes and ordinances, including those described on the reverse side of the last ply of this form; am subject to any conditions of this permit; understand that the issuance of this permit creates no legal liability, express or implied, on the state or municipality; and certify that all the above information is accurate. If one acre or more of soil will be disturbed, I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and the owner shall sign the statement on the back of the permit if not signing below. I expressly grant the building inspector, or the inspector's authorized agent, permission to enter the premises for which this permit is sought at all reasonable hours and for any proper purpose to inspect the work which is being done.

I vouch that I am or will be an owner-occupant of this dwelling for which I am applying for an erosion control or construction permit without a Dwelling Contractor Certification and have read the cautionary statement regarding contractor responsibility on the reverse side of the last ply of this form.

APPLICANT (Print:) _____ **Sign:** _____ **DATE** _____

APPROVAL CONDITIONS	This permit is issued pursuant to the following conditions. Failure to comply may result in suspension or revocation of this permit or other penalty. <input type="checkbox"/> See attached for conditions of approval.

ISSUING JURISDICTION	<input type="checkbox"/> Town of <input type="checkbox"/> Village of <input type="checkbox"/> City of <input type="checkbox"/> County of <input type="checkbox"/> State→	State-Contracted Inspection Agency#:	Municipality Number of Dwelling Location
-----------------------------	--	--------------------------------------	--

FEES:	PERMIT(S) ISSUED	WIS PERMIT SEAL #	PERMIT ISSUED BY:
Plan Review \$ _____	<input type="checkbox"/> Construction <input type="checkbox"/> HVAC <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> Erosion Control		Name _____
Inspection \$ _____			Date _____ Tel. _____
Wis. Permit Seal \$ _____			Cert No. _____
Other \$ _____			
Total \$ _____			



LAND DISTURBANCE PERMIT APPLICATION

Fire Prevention and Building Safety
400 La Crosse St, La Crosse, WI 54601
(608) 789-7530 • Fax: (608) 789-7589

<http://www.cityoflacrosse.org> inspection@cityoflacrosse.org
Gregg A. Cleveland, Fire Chief

Application No:

Date:

Parcel No:

OWNER

Name:		
Address:		State:
Zip Code:	Phone:	Cell:
Fax:	Email:	

EROSION CONTROL

Name:		Address:	
State:		Zip Code:	
Phone:		Fax:	
Email:			
Signature:			

PROJECT

Project Address:			
Subdivision Name:			
Lot:		Block:	
Is the site an archaeological district? Yes <input type="checkbox"/> No <input type="checkbox"/>			
Description of Work:			
Start Date:		Completion Date:	
Amount of Disturbance			
Sq. Ft.:	Cu. Yd. Filled:	Cu Yd. Excavated:	Linear Ft:

FLOOD PLAIN

In Floodplain <input type="checkbox"/>	Out of Flood Plain <input type="checkbox"/>
Flood Fringe: <input type="checkbox"/>	Flood Way: <input type="checkbox"/>
Flood Storage: <input type="checkbox"/>	Shore land – Wet land: <input type="checkbox"/>
Shallow Depth Floodplain: <input type="checkbox"/>	If over 1 acre – CPCP Provided from DNR: <input type="checkbox"/>

INSPECTION USE ONLY

Application Received:		
Application Approved:	Conditionally Approved:	Denied:
Inspector:	Date:	

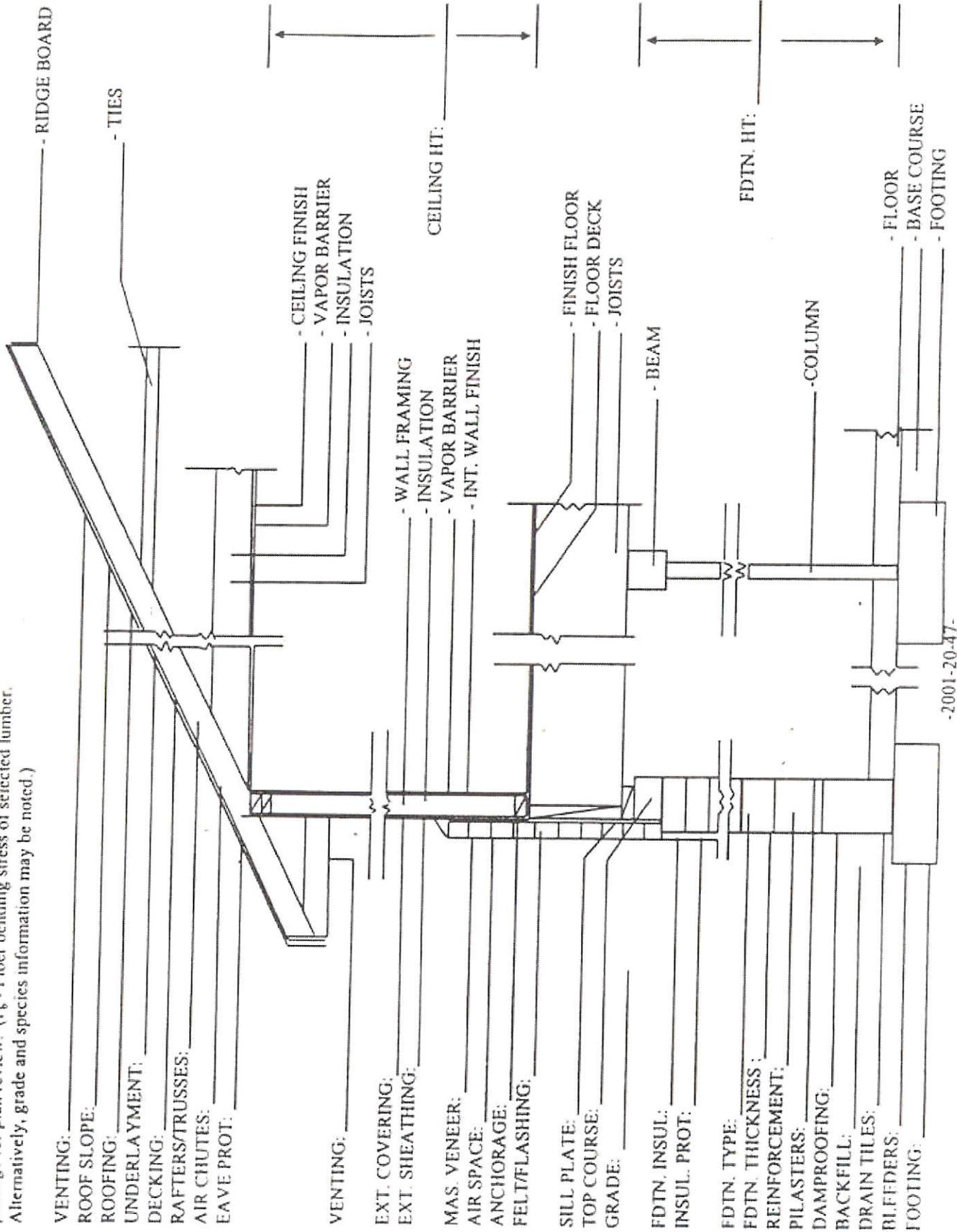
NOTES

Blank area for notes.

RESIDENTIAL ADDITION SECTION PLAN

With proper detailing of building dimensions, material types, spans, sizes, spacing, F_b properties, etc., and strikeouts of non-applicable details, this cross section would provide an acceptable plan drawing. With the local inspection authority's permission, this drawing may be detailed by a designer and submitted as part of a plan package for plan review. (F_b - Fiber bending stress of selected lumber. Alternatively, grade and species information may be noted.)

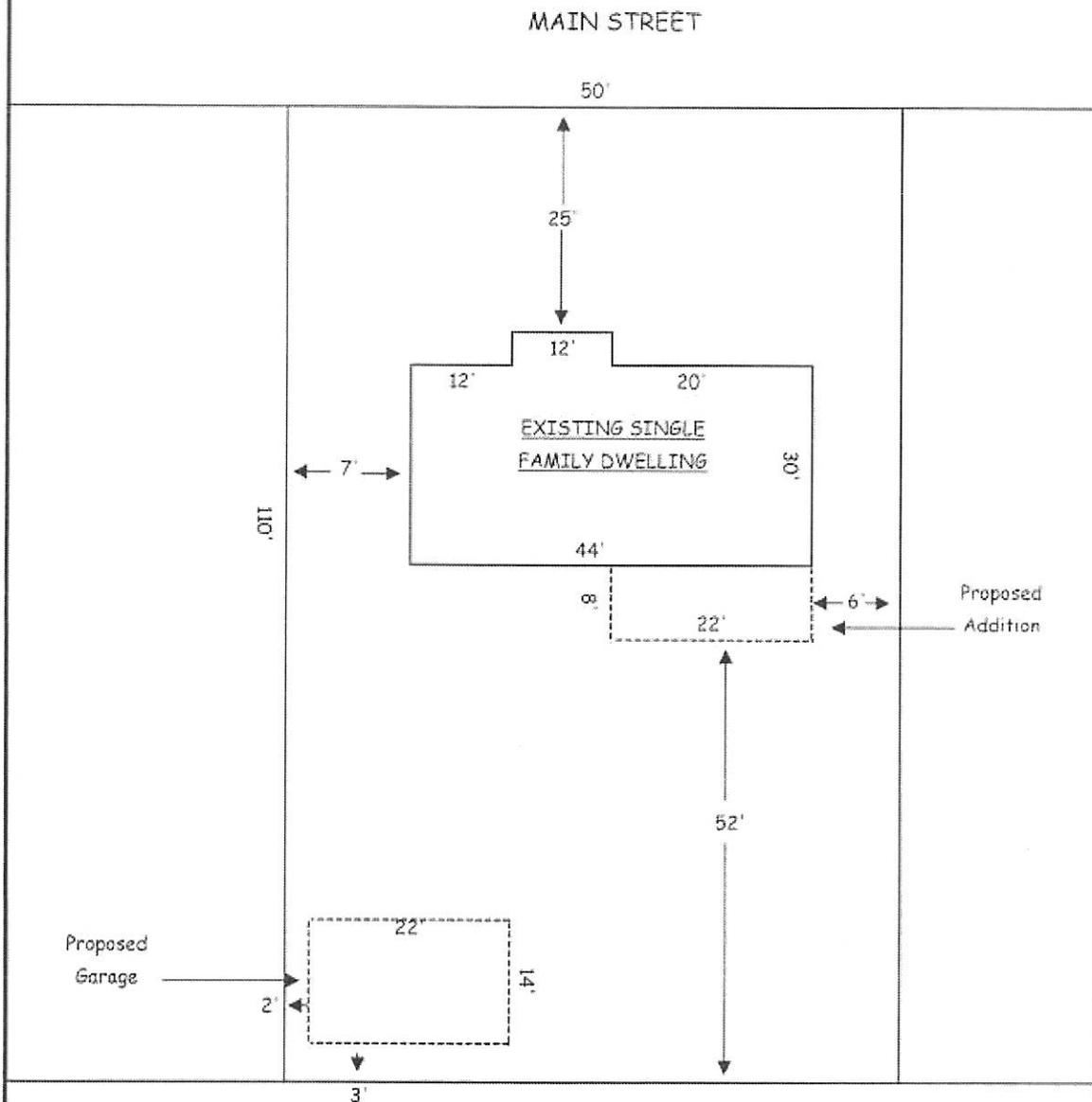
ADDRESS _____
 DATE _____
 CONTRACTOR NAME _____



-2001-20-47-

SAMPLE PLOT PLAN
BUILDING & INSPECTIONS DEPARTMENT
CITY OF LACROSSE
www.cityoflacrosse.org

This sample plot plan has been designed to assist you in preparing a similar plot plan of your own premises, when necessary to obtain a building permit, or when required by the Board of Zoning Appeals, Board of Housing Appeals, or Board of Building Appeals. Plot plans for larger buildings shall go into more detail.



NOTE: DRAWING IS NOT TO SCALE