

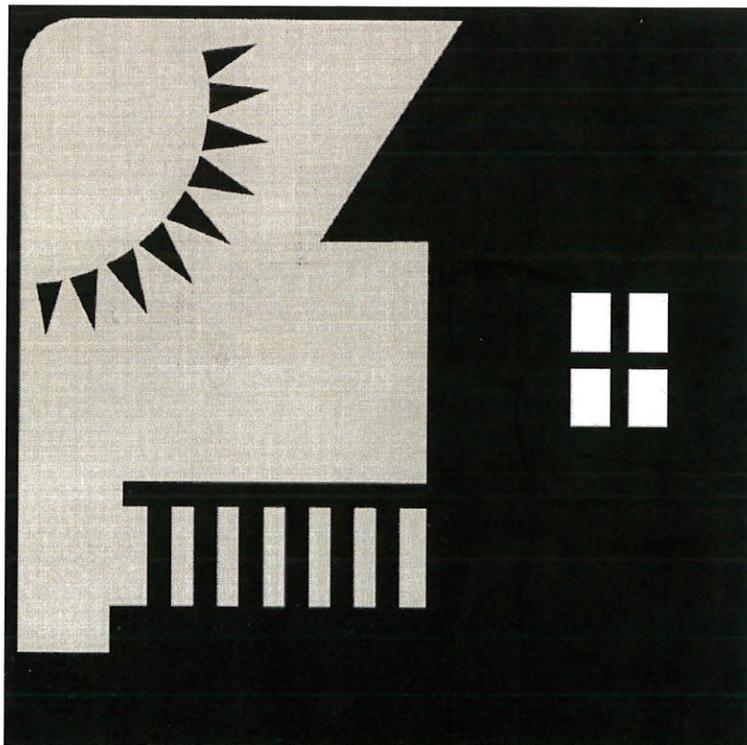


**City of La Crosse
Fire Prevention and Building Safety**

400 La Crosse St, La Crosse, WI 54601
(608) 789-7530 • Fax: (608) 789-7589
<http://www.cityoflacrosse.org> inspection@cityoflacrosse.org
Gregg A. Cleveland, Fire Chief



WOODEN DECK





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WOOD DECKS: MOST OFTEN ASKED QUESTIONS & ANSWERS

Q: Do I need a building permit?

A: Yes

Q: How much will it cost?

A: There is a \$33 flat fee for a deck permit along with a \$33 property record maintenance fee.

Q: How do I get a permit?

A: Bring to the Fire Prevention and Building Safety Department at City Hall the following:

- 2 sets of plans. A set includes a top or "plan view" looking down on your project and a side or "cutaway" view showing your proposed method of construction, size and placement of joists, depth of posts (48" minimum depth is required below ground), and height of guard rail (36" minimum height from top of decking is required) when deck is 24" or more above ground.
- 2 copies of a survey or accurate land drawing showing your existing home and location of proposed deck addition. Be sure to indicate distance from lot lines to the edge of the new deck.

And then, you can complete the application for permit right here at the service counter.

Q: How close to my lot line can I build my deck?

A: Generally, you must stay at least 6' from side and at least 20% of the lot depth, minimum 15' (maximum 30') from the rear lot lines and 25' from a lot line on a street. **NOTE:** You want to be sure, so bring in your survey or accurate lot drawing from 7:30 AM – 5:00 PM and we will check for you. It is best to call first to make an appointment with an inspector.

Q: Do I need concrete footings under my deck?

A: Yes, concrete is required under the posts. A concrete footing is required to help ensure proper distribution of loads to the soil. Remember, pier footings must be at least 48" deep.

Q: When must I call for inspections?

A: Inspections are required at the following times:

- When 48" deep (minimum) holes are ready for viewing before posts are installed
- When all joists are in place before decking is installed
- When the project is complete

Following is a list of frequent problems or errors we encounter:

- No pier depth inspection
- Pier depth less than 48"
- Guard rail less than 36" high
- Guardrail balusters too far apart – must not be able to pass a 4 3/8" diameter ball through it
- Stair built incorrectly. The "riser" height and "tread" depth must be uniform with each other. Maximum riser height allowed is 8". Minimum tread depth (front to back) allowed is 9". This is crucial for a safe stair.
- Please maintain a minimum of 10'0" from the deck surface to any overhead electrical wires

Note: If the home owner does not hire a contractor to perform work under the building permit that is bonded and insured, a Cautionary Statement must be signed and submitted with the application. (SEE ATTACHED FORM)

The property owner is responsible for correct placement of structures upon a parcel of land to comply with the building and zoning law. The back edge of the City sidewalk is usually located on a property line.

Be sure to call **Digger's Hotline** prior to digging. The number is 1-800-242-8511.

**If we may be of further service, please call: 789-7530
Monday through Friday – 7:30 AM through 5:00 PM
Thank you and good luck on your project!**



BUILDING PERMIT APPLICATION

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Gregg A. Cleveland, Fire Chief

Application No: _____

Date: _____

Parcel No: _____

PROJECT

Project Address:

Building <input type="checkbox"/>	Addition <input type="checkbox"/>	Alteration/Remodel <input type="checkbox"/>	Cost of Project: \$
Sign <input type="checkbox"/>	Demolition <input type="checkbox"/>	Intended Use of Land After Demolition:	

Description of Work:

OWNER

Name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Cell: _____ Fax: _____ Email: _____

CONTRACTOR

Name: _____ Supervisor: _____

Address: _____ WIS/Cred/Qual: _____

City: _____ State: _____ Zip Code: _____

Phone: _____ Cell: _____ Fax: _____ Email: _____

PROPERTY

Zoning: _____ Flood Plain: Yes No:

Number of Dwelling Units: _____ Fire Limits: Yes No:

Property Located in Archaeological District: Yes No

Building Construction Type: _____ Occupancy type: _____

Level of Alteration (per IEBC): _____

Architect/Engineer Name: _____ Architect/Engineer Phone: _____

INSPECTION USE ONLY

OK TO ISSUE:	Inspector Initials:	It is hereby agreed between the applicant, as owner, owner's agent or servant, and the City of La Crosse that for and in consideration for the premises and of the permit to construct, erect, alter, move, raze, or install and the occupancy of a building or property as above described, to be issued and granted by Fire Prevention and Building Safety of the City of La Crosse, that the work thereon will be done in accordance with the descriptions set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter, move, raze or install and occupy in strict compliance with the ordinances of the City of La Crosse, and to obey any and all lawful orders of Fire Prevention and Building Safety of the City of La Crosse and State of Wisconsin laws relating to the construction, alteration, repairs, removal and safety buildings and other structures and permanent building equipment.
Approval Date:		
FEES		
Copies:	\$	
Plan Review:	\$	
Permit Fee:	\$	
Record Maintenance Fee:	\$	
Other:	\$	
TOTAL:	\$	
Received By:	Check No:	

PLEASE MAKE CHECKS PAYABLE TO: CITY OF LA CROSSE TREASURER

(PRINT) AGENT/CONTRACTOR NAME DATE

(SIGN) AGENT/CONTRACTOR NAME DATE

(PRINT) OWNER NAME DATE

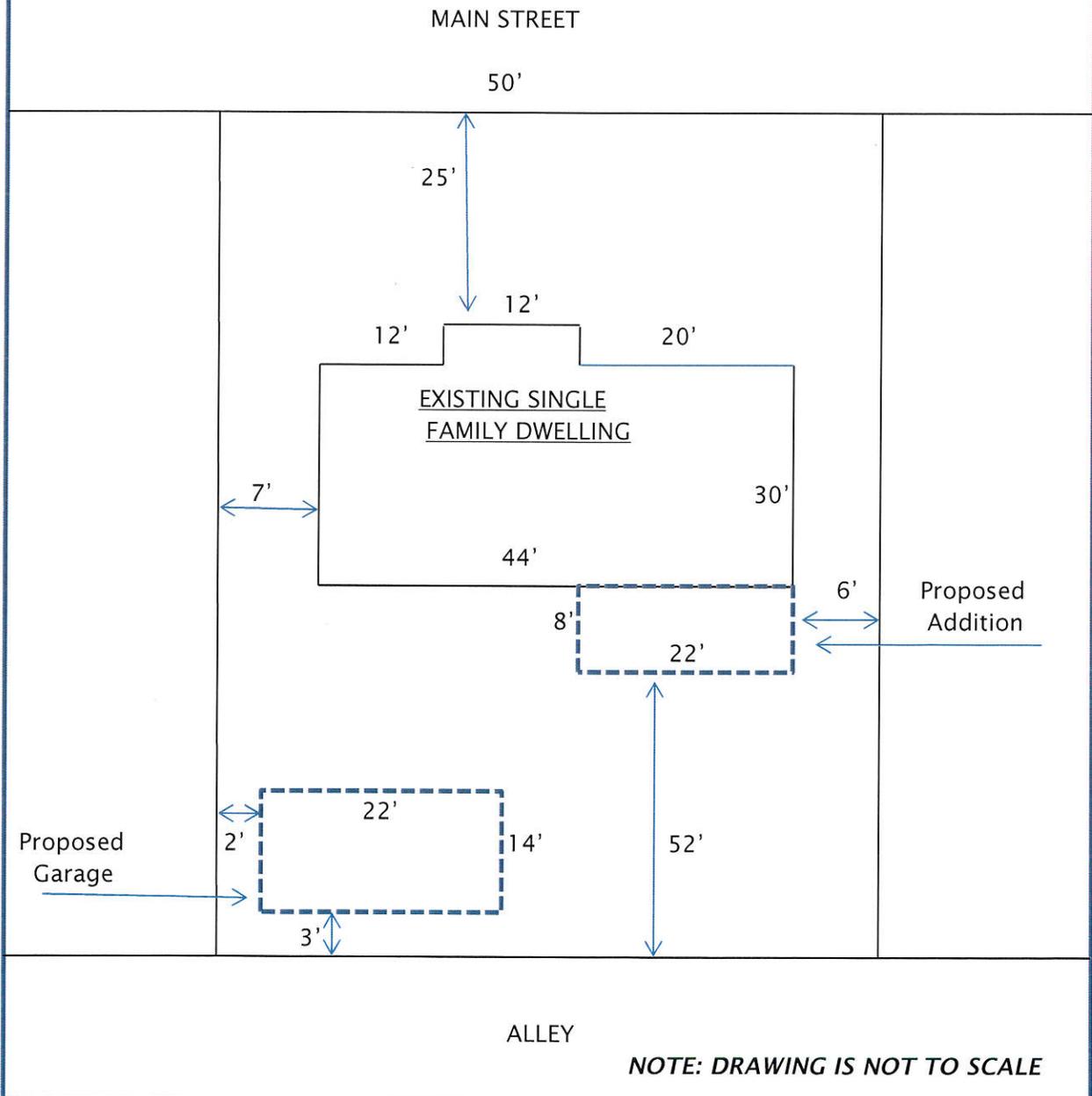
(SIGN) OWNER NAME DATE

DO NOT CONCEAL ANY WORK WITHOUT FIRST RECEIVING INSPECTOR APPROVAL.

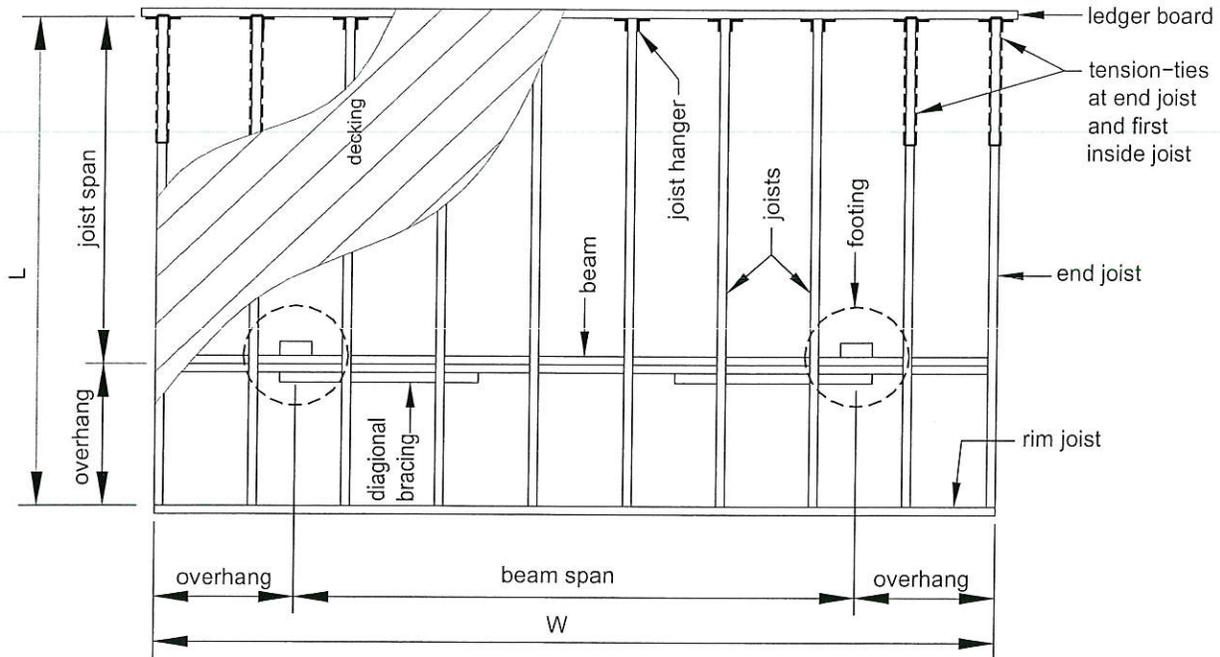
IT IS THE OWNER'S RESPONSIBILITY TO SEE THAT INSPECTION REQUESTS ARE CALLED IN TO THE INSPECTOR.

SAMPLE PLOT PLAN
FIRE PREVENTION AND BUILDING SAFETY DEPARTMENT
CITY OF LA CROSSE
www.cityoflacrosse.org

This sample plot plan has been designed to assist you in preparing a similar plot plan of your own premises, when necessary to obtain a building permit, or when required by the Board of Zoning and Appeals, Board of Housing Appeals, or Board of Building Appeals. Plot plans for larger buildings shall go into more detail.



**Figure 35
TYPICAL DECK FRAMING PLAN**



Decking: 2x4 2x6 five-quarter board wood-plastic composite (per ASTM D 7032)
 Other decking, evaluation report number: _____

Joists: size: 2x6 2x8 2x10 2x12 spacing: 12 in. 16 in. 24 in.
 joist span dimension: _____ ft. - _____ in.
 overhang: Yes No overhang dimension: _____ ft. - _____ in.
 rim joist: 2x6 2x8 2x10 2x12

Beam(s): number of plies: 2 3 size: 2x6 2x8 2x10 2x12
 overhang: Yes No overhang dimension: _____ ft. - _____ in.

Posts: size: 4x4 4x6 6x6 height: _____ ft. - _____ in.

Footings: size: _____ in. square round thickness: _____ in.

Ledger: ledger board size: 2x8 2x10 2x12 Not applicable (free-standing deck)
 fastener: Through bolt Lag screw Wood screw
 Expansion anchor Adhesive anchor

Lateral support: Tension-tie Diagonal bracing, size: 2x
 (not permitted for free-standing deck)

Deck size: L= _____ ft. - _____ in. W= _____ ft. - _____ in.

(Part of Ply 4 for Applicants)

Cautionary Statement To Owners Obtaining Building Permits

101.65(lr) of the Wisconsin Statutes requires municipalities that enforce the Uniform Dwelling Code to provide an owner who applies for a building permit with a statement advising the owner that:

If the owner hires a contractor to perform work under the building permit and the contractor is not bonded or insured as required under s. 101.654 (2) (a), the following consequences might occur:

(a) The owner may be held liable for any bodily injury to or death of others or for any damage to the property of others that arises out of the work performed under the building permit or that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

(b) The owner may not be able to collect from the contractor damages for any loss sustained by the owner because of a violation by the contractor of the one- and two- family dwelling code or an ordinance enacted under sub. (1) (a), because of any bodily injury to or death of others or damage to the property of others that arises out of the work performed under the building permit or because of any bodily injury to or death of others or damage to the property of others that is caused by any negligence by the contractor that occurs in connection with the work performed under the building permit.

Additional Responsibilities for Owners of Projects Disturbing More One or More Acre of Soil

I understand that this project is subject to ch. NR 151 regarding additional erosion control and stormwater management and will comply with those standards.

Owner's Signature: _____ Date: _____