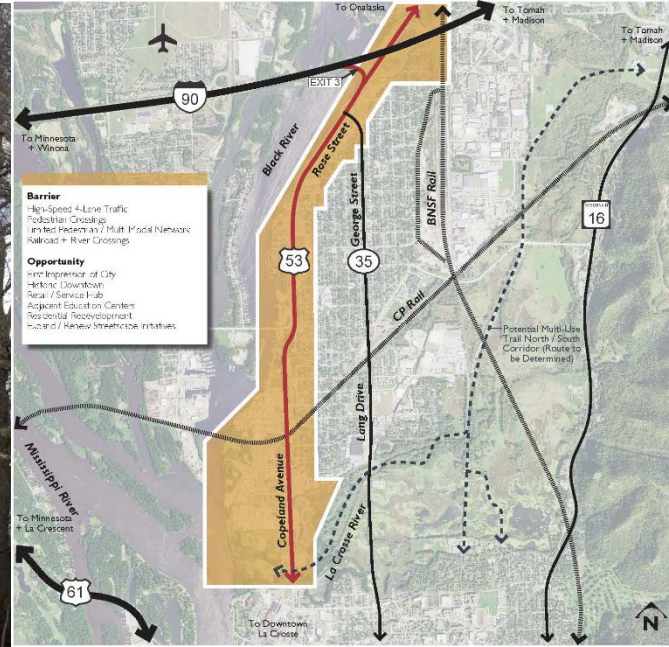


CITY OF LA CROSSE HIGHWAY 53 CORRIDOR PLAN



AGENDA

- Introductions 5 min
- Update Community Engagement 30 min
 - Summary of Comments from Kick-off meeting
 - Summary of Stakeholder Interviews
 - Summary of Public Open House #1
- Update Market Analysis 30 min
- Update Urban Design Analysis 20 min
- Schedule 5 min

CONSULTANT TEAM



John Slack
Project Manager + Senior
Landscape Architect
Perkins+Will



Will Kratt
Assistant Project Manager +
Associate Principal +
Civil/Transportation Engineer
ISG



Jay Demma
Senior Planner
Perkins+Will



Tom Leighton
Planner
Tangible



Amanda Prosser
Senior Landscape Architect
ISG



Kevin Leucke
Senior Planner
Toole Design Group

UPDATE COMMUNITY ENGAGEMENT

COMMUNITY ENGAGEMENT GOALS

- Identify stakeholders, including populations not traditionally involved in neighborhood decision making.
- Engage all stakeholders, including residents and businesses, in meaningful and accessible ways.
- Solicit early and continuous involvement.
- Seek collaborative input on alternatives and evaluation criteria.
- Provide transparency during the planning process.
- Build understanding of redevelopment opportunities and build support for the plan that evolves from the planning process.

SUMMARY KICK-OFF MEETING

Exercise 1 – Brain writing the Opportunities and Threats

For this exercise we will ask each participant to identify the opportunities and threats for the project.

- *Please identify the top ten opportunities along the Highway 53 corridor*
- *Please identify the top ten threats along the Highway 53 corridor*

SUMMARY KICK-OFF MEETING

Summary of Opportunities

(5)- Riverside north redevelopment as a linkage between downtown, Black River and Northside neighborhoods

(4)- Improve and grow retail in old town/Uptown

(4)- More public access to the water from the corridor and neighborhoods (mentioned three other times)

(3)- Riverside north

SUMMARY KICK-OFF MEETING

Summary of Threats

(8)- Flood issues

(6)- Apathy or disillusionment of merchants

(5)- Lack of balance between regional traffic and neighborhood livability

(4)- Decreasing property investment

SUMMARY KICK-OFF MEETING

Question 1: What is unique about the Highway 53 corridor and what aspects of the corridor should be enhanced and/or maintained?

- *River: waterfront access, eagle watch area*
- *Gateway/entrance to La Crosse*
- *Development: improved housing, develop underutilized land, economic growth*
- *Traffic: enhance traffic flow, multi-modal improvements*

SUMMARY KICK-OFF MEETING

Question 2: What is problematic along the corridor and needs improvement

- *Run-down/underutilized properties and buildings: poor condition, absentee landlords,*
- *Floodplain*
- *Improved identity and image*

SUMMARY KICK-OFF MEETING

Question 3: What would substantial positive change (short term implementation or improvements) look like in five years along the Highway 53 corridor?

- *Beautify corridor and gateway*
- *Redevelopment of underutilized properties*
- *New branded image and change public perception*

SUMMARY KICK-OFF MEETING

Question 4: If a robust and realistic plan for the corridor was implemented, what would the corridor look like in 20 years?

- *Public and private sector growth: creating community strategic value*
- *Fully redeveloped corridor: new shops, housing, hotels and neighborhoods*
- *Improved River access and recreational amenities*
- *Sense of Northside pride*

SUMMARY KICK-OFF MEETING

Question 5: What one thing would you change about the Highway 53 corridor?

- *Removal of undesirable buildings/landuses along the corridor*
- *Redevelopment of key parcels: Bridgeview Square*
- *Image*
- *Multi-modal access and circulation*

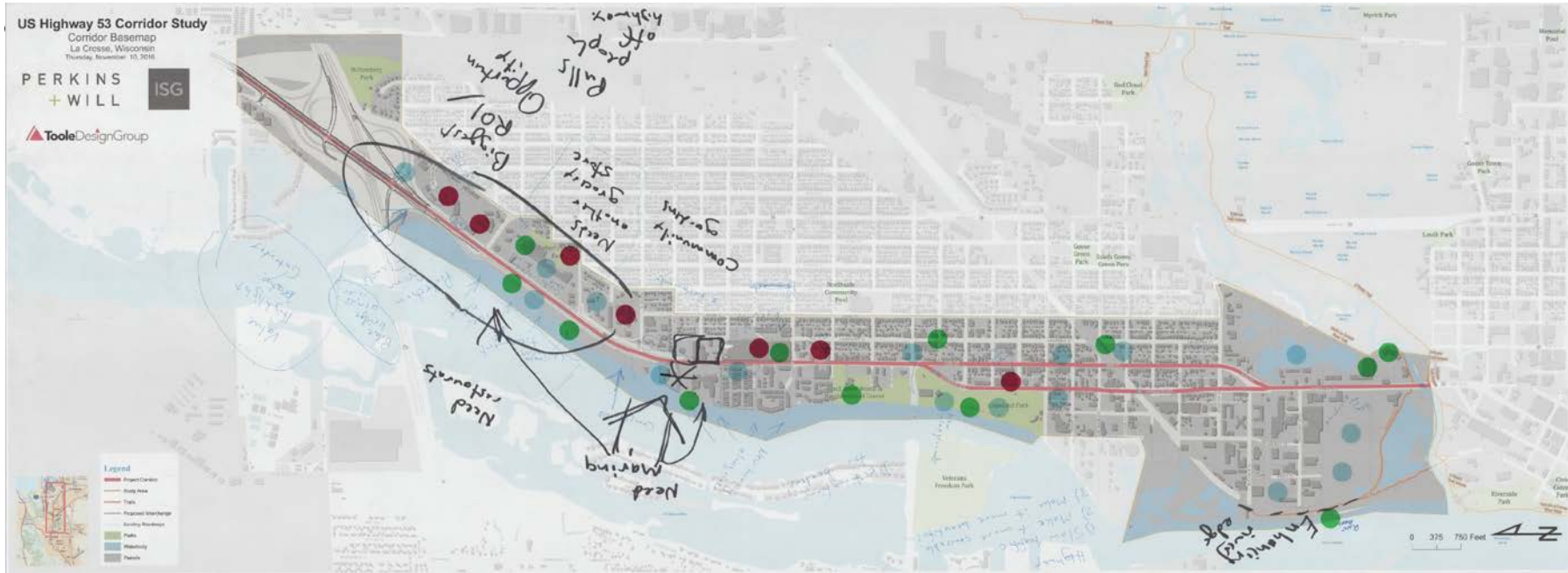
SUMMARY OF PUBLIC MEETING #1



SUMMARY OF PUBLIC MEETING #1



SUMMARY OF PUBLIC MEETING #1



SUMMARY OF PUBLIC MEETING #1



SUMMARY OF PUBLIC MEETING #1

- Enhanced aesthetics, improved gateway experience and more welcoming
 - *Maintain function of roadway but get people to stop*
- Enhance businesses
 - *See and recognize businesses, get people to stop*
 - *Directions to/from corridor*
 - *Wayfinding and define landmarks along the corridor*
- Enhanced pedestrian and multi-modal access and circulation
 - *Provide safe crossings, enhance intersections, consolidate driveways/curb cuts*

SUMMARY OF PUBLIC MEETING #1

- Redevelopment opportunities
 - *Do not redevelop sites that support “good” businesses*
 - *Define opportunities to provide housing choices and business that provide living wages*
 - *Redevelopment recommendations need to balance floodplain issues*

PUBLIC ENGAGEMENT NEXT STEPS

- Focus Group meetings – *Week of the 27th*
- Upcoming Pop-Up Events – *Polar Plunge* and *Lights over North La Crosse*
- Additional Stakeholder Interviews
- Design Team Charrette – *Early December*
- Steering Committee #3 – *Mid/late December*
- Next Community Workshop – *January/February*

MARKET ANALYSIS

MARKET ANALYSIS TOPICS

1. Socio-Economics Trends
2. Expert Opinions
3. Market Conditions
4. Locational Factors Influencing the Corridor
5. Areas of Potential Change



2000-2015 Population Growth

La Crosse
Metro Area

+11,073

(+8.7%)

2000-2015 Population Growth

La Crosse
Metro Area

+11,073

(+8.7%)

North
La Crosse

-514

(-5.0%)

2000-2015 Population Growth

La Crosse
Metro Area

+11,073

(+8.7%)

North
La Crosse

-514

(-5.0%)

Downtown
La Crosse

+1,513

(+142%)



2015-2030 Population Growth

La Crosse
Metro Area

+10,900

(+7.9%)

2015-2030 Population Growth

Downtown La Crosse

La Crosse
Metro Area

+10,900
(+7.9%)

+1,493
(+58%)



2015-2030 Population Growth

Downtown La Crosse

La Crosse
Metro Area

+10,900
(+7.9%)

2/3

+1,000
(+39%)

1/3

North La Crosse

+493 = 250 units
(+5.0%)



2010-2015 Employment Growth

La Crosse
Metro Area

+3,104
(+4.9%)

2010-2015 Employment Growth

La Crosse
Metro Area

+3,104
(+4.9%)

North
La Crosse

+753
(+6.7%)

2010-2015 Employment Growth

La Crosse
Metro Area

+3,104
(+4.9%)

North
La Crosse

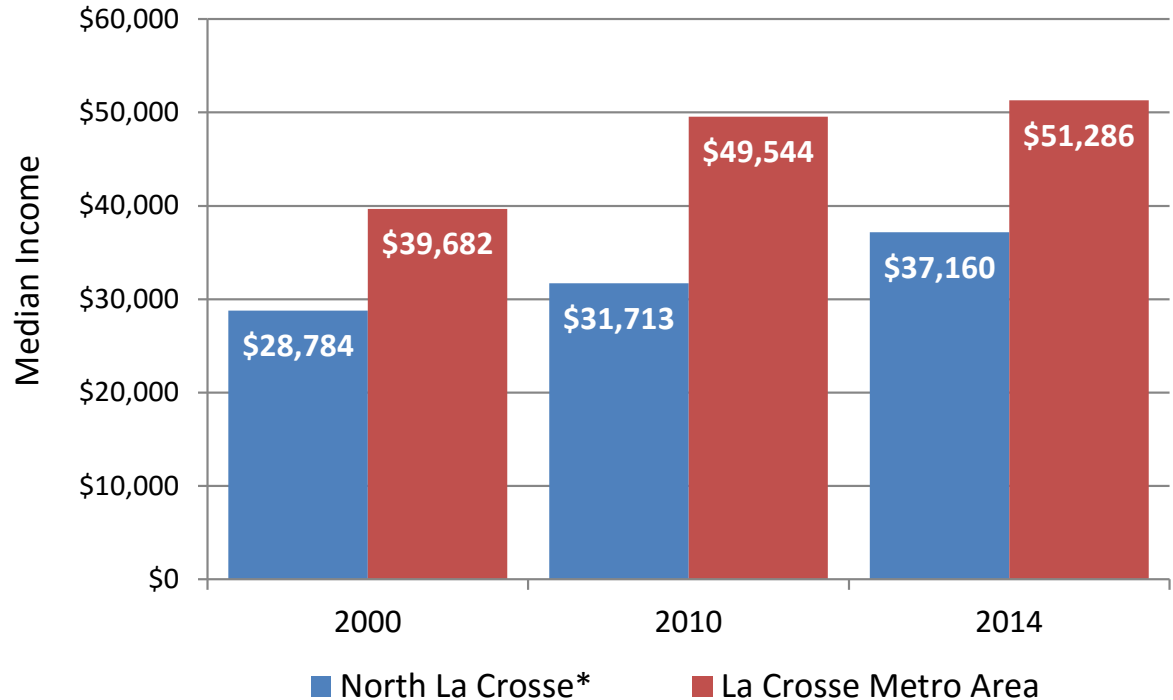
+753
(+6.7%)

Downtown
La Crosse

+4,528
(+42%)

HOUSEHOLD INCOMES

- Incomes significantly and persistently below the metro median
- Important to keep in mind when thinking about particular sites and uses (e.g., a retail site that will draw customers primarily from North LaCrosse will be impacted by the spending power of residents)



* Census Tracts 1 and 2 (area bounded by I-90, BNSF railyard, Mississippi River, and La Crosse River)
Source: US Census

LOCAL EXPERTS

NAME

Nick Roush

Steve Nicolai

John Young

Cliff LeClair

Peter and Paul Gerrard

Paul Borsheim

Marvin Wanders

Casey Weiss

Rick Staff

Mark Hammond

BACKGROUND

Developer/business owner

Developer

Broker/Realtor

Developer/property owner

Developer

Contractor/developer

Developer

Broker/Realtor

Developer/Realtor

Developer

EXPERTISE

Housing

Housing

Retail

Hospitality/industrial

Mixed

Mixed

Mixed

Commercial/industrial

Housing

Mixed

LOCAL EXPERTS: KEY OBSERVATIONS

- Majority of comments focused on the **Corridor's assets** and the opportunities to leverage those assets: **Proximity to river; Proximity to Downtown; Strong traffic counts; A lot of underutilized property**
- Majority of those interviewed were **positive about** the potential to support **new development** along the Corridor
- All agreed that there are **no easy opportunities**
- All agreed that **new housing is key** to unlocking long-term opportunity (i.e., more households drives retail and other commercial uses)
- All agreed that **Millennials are driving trends**; they want to be **close to the "action"** -- walk to goods, services, and employment

LOCAL EXPERTS: KEY OBSERVATIONS

- Perceptions of the Corridor depended heavily on location – three distinct areas:
 - 1) I-90 to Livingston St (north section of Corridor)
 - 2) Livingston St to BNSF viaduct (middle section of Corridor)
 - 3) BNSF viaduct to Downtown (south section of Corridor)

LOCAL EXPERTS: KEY OBSERVATIONS

- North section
 - Critical gateway
 - New infrastructure changes will have huge impact
 - Property ownership issues biggest challenge
 - Fundamentals are strong (visibility, regional access, traffic counts), though need to respect competition along I-90 in Onalaska and site specific access issues
 - Divergent opinions on what to do with Bridgeview Plaza – half said it should be torn down and be redeveloped; other half said it should get major rehabilitation (i.e., market rents not strong enough to support new construction of retail)
 - Everyone felt it is primarily a retail area, but not an exclusive retail area (market too competitive – any retail needs to be scaled to the trade area) – other uses need to be present

LOCAL EXPERTS: KEY OBSERVATIONS

- Middle section
 - Most challenging section of the Corridor: fewer large lots; discordant development and transportation patterns
 - Focus attention at key nodes
 - Copeland Park is critical asset
 - Central States Warehouse, despite its prominence and appearance, isn't likely redevelopment site due to recent investment
 - Land between the Rose and Copeland will be challenging, but could represent mixed opportunities
 - New housing would likely need to be subsidized in this section of the Corridor – middle market product has most depth, but financing construction a challenge
 - Uptown district potential asset/anchor

LOCAL EXPERTS: KEY OBSERVATIONS

- South section
 - Most immediate potential along the Corridor: leverage North Riverside redevelopment and strength of Downtown momentum
 - Flood plain issues will need to be resolved; currently limiting any type of reinvestment of existing properties; adds expense and complexity (i.e., uncertainty)
 - Three Rivers development is strong evidence of market potential
 - Market rate housing could work in the south section as long as there are good connections to the river and/or trail system
 - Strong industrial market could be opportunity for new jobs near the Corridor

RETAIL MARKET TRENDS

- Strong increase in retail rents since 2014
- Recent decline in vacancy
- Peak rents along Corridor are \$17-18/sf (NNN) – challenging to support construction without a gap subsidy
- Food not goods driving retail



OFFICE MARKET TRENDS

- Stable rents since 2013 with slight decrease in 2016
- Vacancy has dropped 50% since 2011
- No development since 2012
- Trend toward less square feet per employee driving down demand for space



Source: CoStar

INDUSTRIAL MARKET TRENDS

- Stable rents since 2008
- Vacancy is extremely low at around 1% -- likely significant pent-up demand
- No development since 2009 – contributing to pent-up demand
- Industrial uses won't support redevelopment



HOUSING MARKET

- Strong demand for rental apartments in recent years
- Townhomes have picked up in recent years
- Waterfront locations or accessibility is a huge asset
- Condos struggled after the 2007-08 bust, but interest is picking up – The Landings condos (Three Rivers) now sell for \$250,000-\$300,000 with minimal market times
- Residences at Bell Square (Downtown) setting the market bar:
 - Monthly rent \$1,162-\$2,847 (\$1.80-\$1.95/sf)
- Top achievable rent for much of Corridor is \$1.30-\$1.50/sf – require some type of gap subsidy

LOCATIONAL FACTORS

STRENGTHS

- Proximity to Black River
- Proximity to downtown
- Copeland Park
- Opportunities for redevelopment
- Strong traffic counts along corridor
- Historic asset of Uptown district
- Social cohesion of North La Crosse market

CHALLENGES

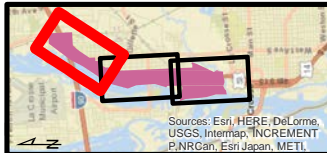
- Flood plain issues
- Lower household incomes of surrounding households
- Minimal development momentum
- Lack of greenfield or “shovel-ready” sites
- Broken up character
- High speeds along Corridor



1 Page 1 of 3

2

Thursday, October 27, 2016

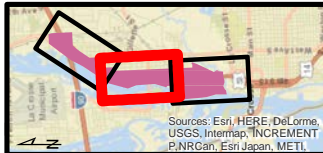
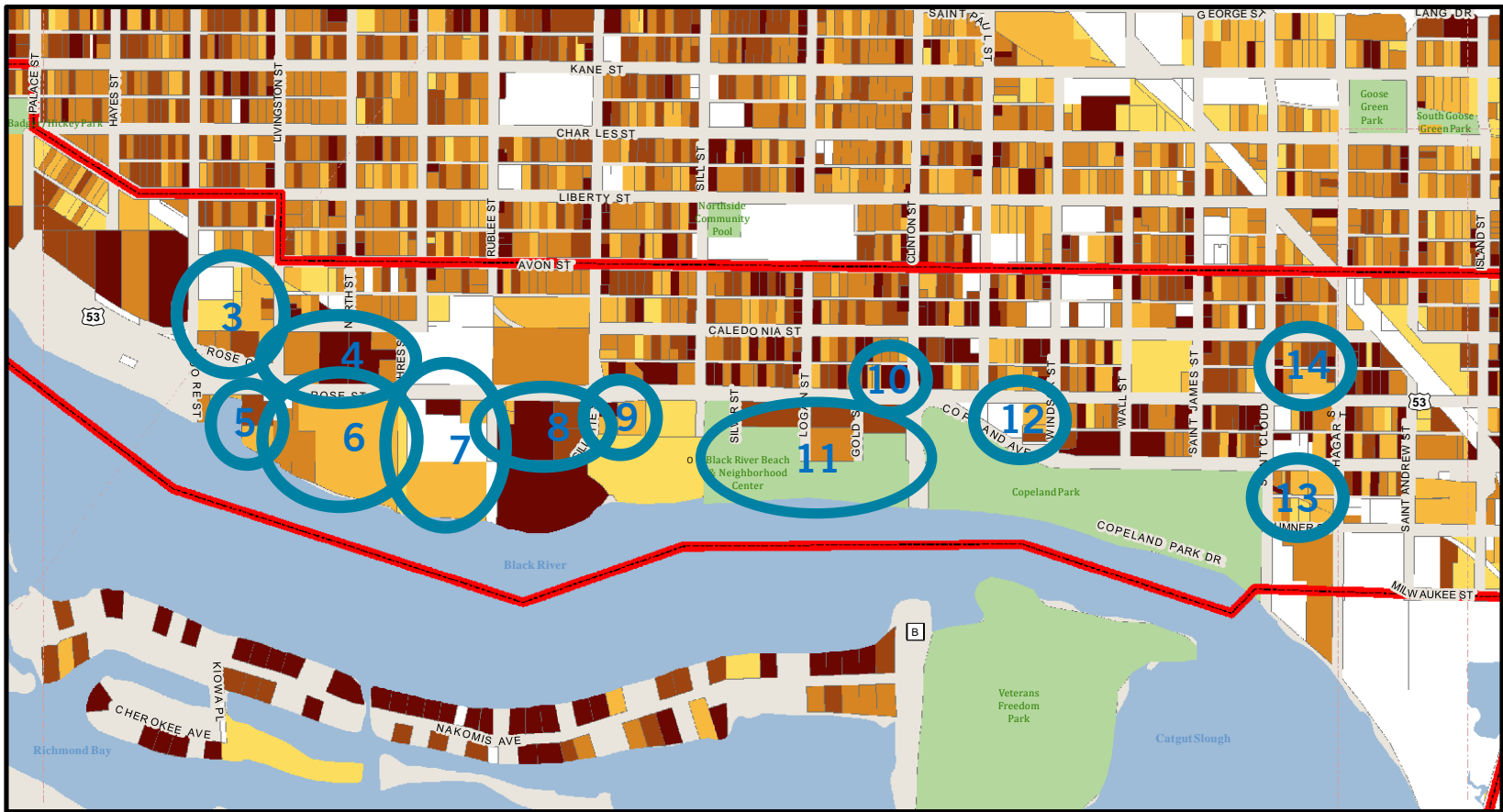


Sources: Esri, HERE, DeLorme, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI,

US Highway 53 Corridor Study
 City of La Crosse
 La Crosse County, Wisconsin

Legend

- Study Area
- No Assessed Value
- Up to \$5 per Square Foot
- \$5 to \$10 per Square Foot
- \$10 to \$15 per Square Foot
- \$15 to \$20 per Square Foot
- More than \$20 per Square Foot



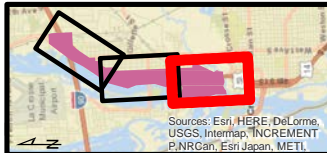
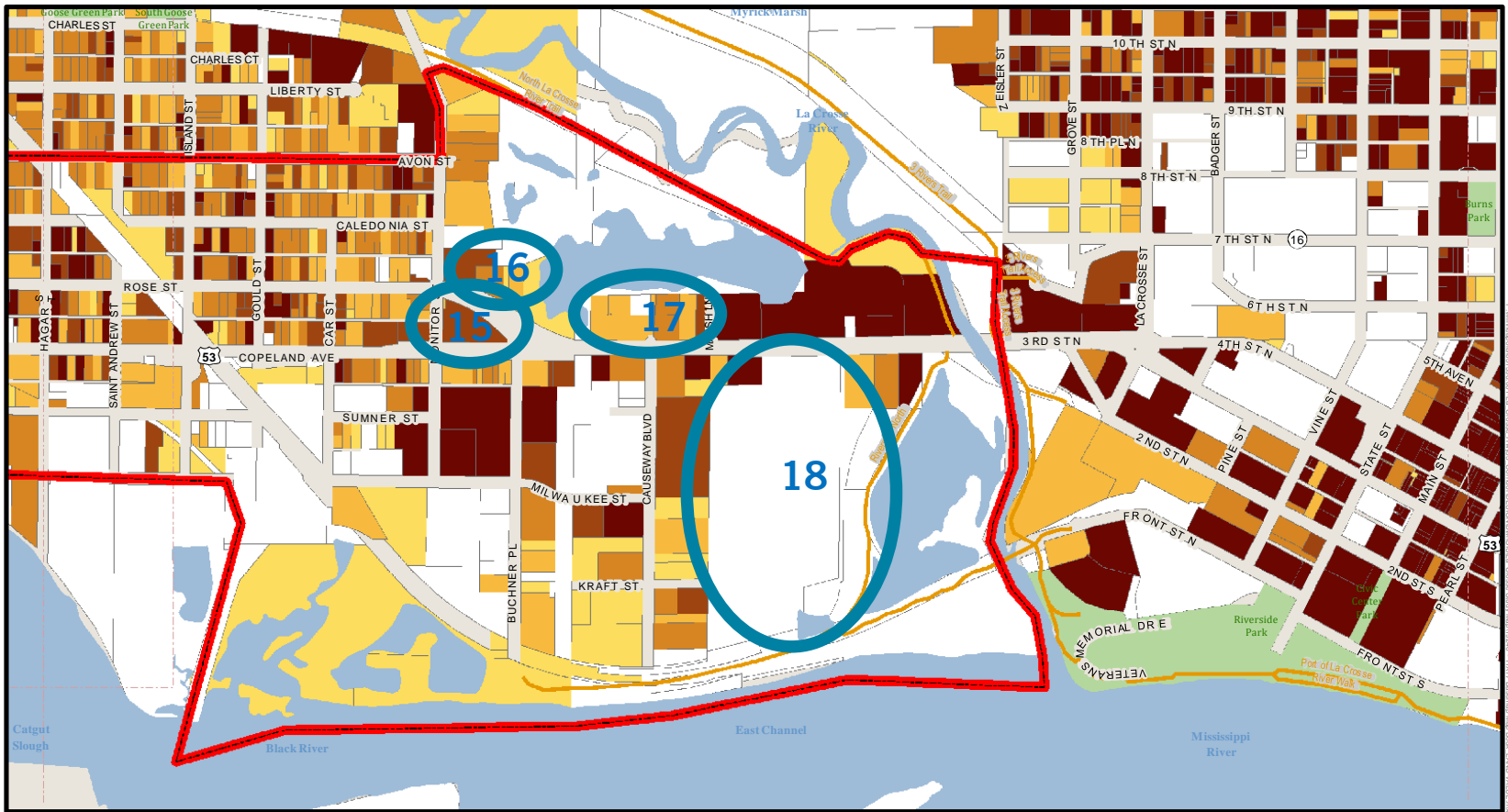
PERKINS + WILL **ISG** **Toole Design Group**

Legend

- Study Area
- No Assessed Value
- Up to \$5 per Square Foot
- \$5 to \$10 per Square Foot
- \$10 to \$15 per Square Foot
- \$15 to \$20 per Square Foot
- More than \$20 per Square Foot

US Highway 53 Corridor Study
City of La Crosse
 La Crosse County, Wisconsin

260 520 Feet
 1 inch = 520 feet



US Highway 53 Corridor Study
 City of La Crosse
 La Crosse County, Wisconsin

Legend

- Study Area
- No Assessed Value
- Up to \$5 per Square Foot
- \$5 to \$10 per Square Foot
- \$10 to \$15 per Square Foot
- \$15 to \$20 per Square Foot
- More than \$20 per Square Foot

SUMMARY TRANSPORTATION ANALYSIS

SUMMARY TRANSPORTATION ANALYSIS

- Preliminary at this point
- Still awaiting some data

BICYCLES & PEDESTRIANS

- Hwy 53 not comfortable for bicycling or walking
- Neighborhood streets good for walking and bicycling, but not direct or access businesses
- Crossing the highway very difficult
- Long distances between signalized intersections



BICYCLES & PEDESTRIANS

- Bicycle and pedestrian crashes, but no significant concentrations
- Proposed bicycle facilities throughout corridor, but no actual facilities
- Intersections with large curb radii or slip lanes



MOTOR VEHICLES

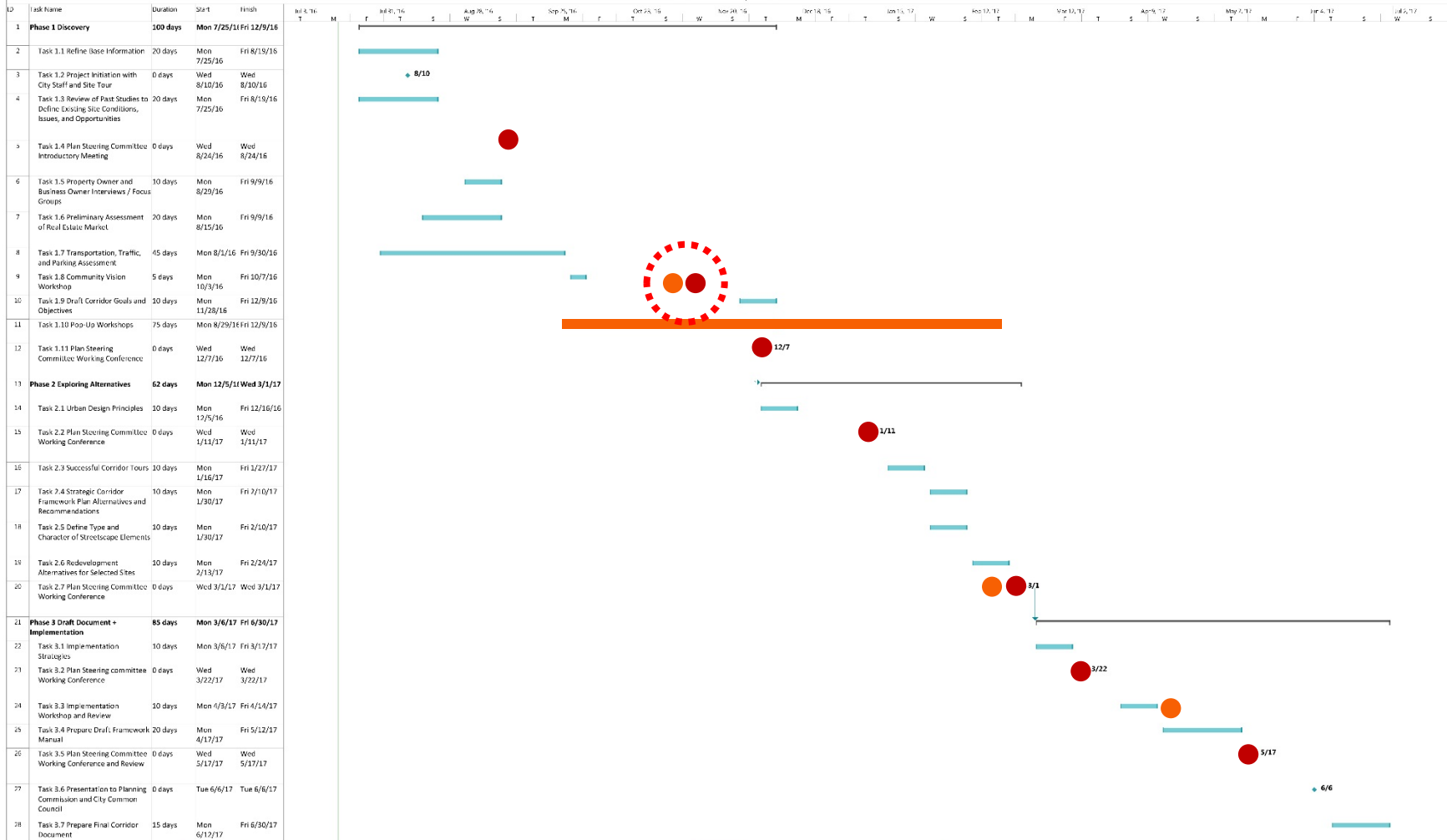
- Significant traffic volumes
- High traffic speeds
- Minimal delays outside of peak times
- Rear-end collisions at north end of corridor
- Multiple commercial driveways per block
- Generally plentiful parking throughout corridor



TRANSIT

- Reasonable transit coverage throughout corridor
- Opportunity for high quality transit along corridor
 - Express service to downtown/major employers
 - Bus rapid transit
- Opportunity for park-and-ride services

SCHEDULE



SCHEDULE

- Steering committee kick-off meeting
 - *September 7th, 2016*
 - *Kick-off meeting and project tour*
- NLBA Meeting- October 13th
- Community Vision Workshop – *Last Night*
- Steering committee meeting #2
 - *Today*
- Stakeholder Meetings
 - *Week of November 27th, 2016*
- Steering committee meeting #3
 - *Mid/late-December, 2016*
- Pop Up Events
 - *Polar Plunge*
 - *Lights over North La Crosse*
 - *OTHERS?*

QUESTIONS